

# **Stoney Glen West**

## **Community Standards**

**Fence Application with addition information**

Stoney Glen West Community Association  
Architectural Review Board

PROPERTY IMPROVEMENT APPLICATION

Date: \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

Telephone: \_\_\_\_\_

Section: \_\_\_\_\_ Lot: \_\_\_\_\_

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Type of Improvement (check appropriate blank):

Fence  Accessory Building  Addition  Site Structure  Other

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The applicant shall be the property owner at the time of application.

The following items must accompany this application when submitted to the Architectural Review Board (ARB):

1. Site plan indicating the location of the house, driveway, other existing structures, and the location of the proposed improvements with distances to property lines.
2. Plans and elevations that fully describe the proposed improvements.

Architectural review is only for compliance with Stoney Glen West covenants and community standards. Approval does not relieve the applicant of responsibility for obtaining all other necessary permits and compliance with applicable zoning ordinances and building codes.

Applicant's Signature: \_\_\_\_\_

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**ARB USE ONLY**

Date Application Received: \_\_\_\_\_

Action Taken:

Approved: \_\_\_\_\_ Date: \_\_\_\_\_

Conditional Approval: \_\_\_\_\_ Date: \_\_\_\_\_

Denied: \_\_\_\_\_ Date: \_\_\_\_\_

ARB Chairperson's Signature: \_\_\_\_\_

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## 2.5 Preparation of Submittals

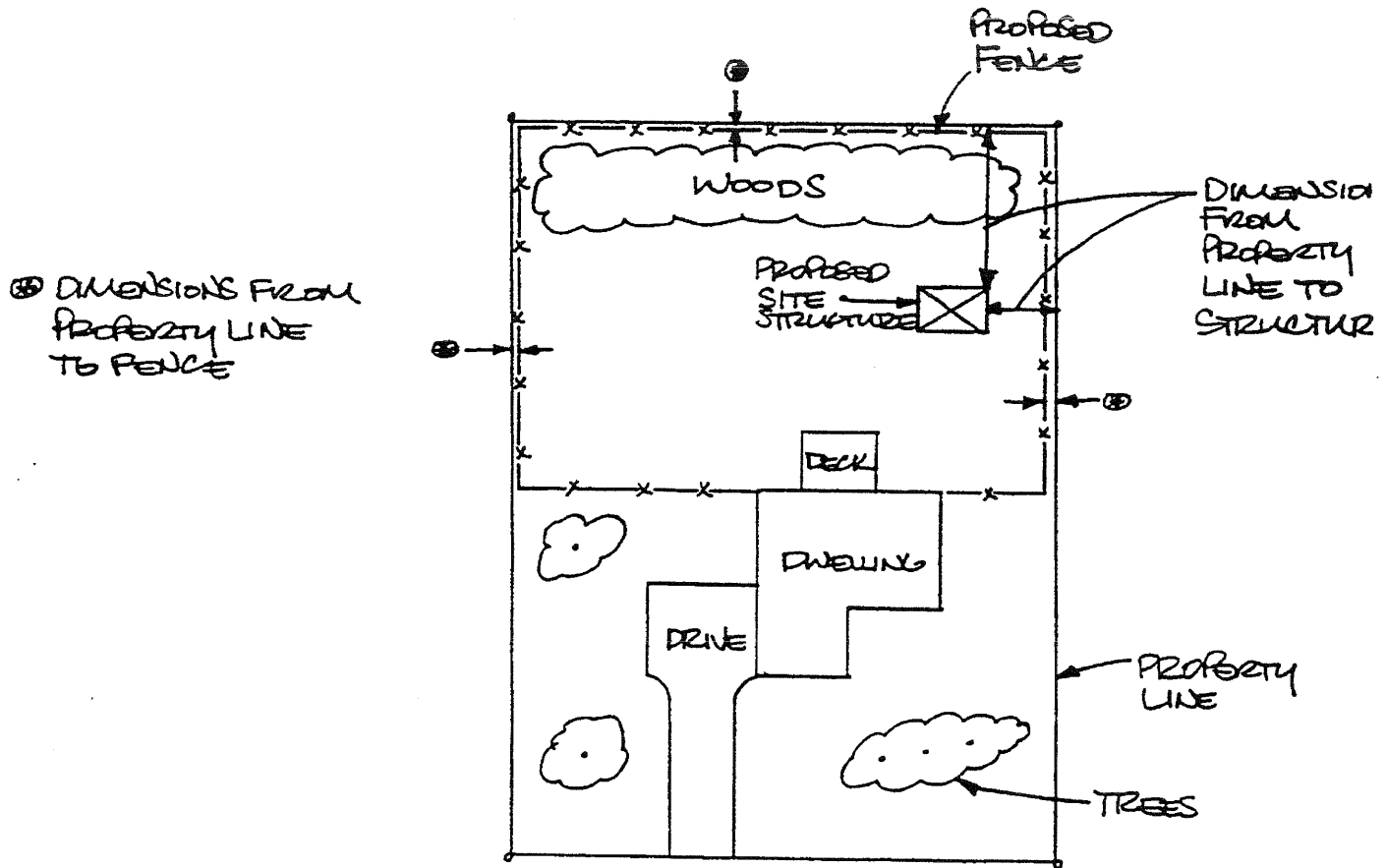
Submittals prepared for consideration by the ARB shall be complete and accurate. Submittals for design review must include drawings prepared as described below. Submittals for color review must include color chips. In every case all requested information on the application forms shall be furnished. The ARB may return applications that are incomplete.

For consideration by the ARB, drawings must be neat, accurate, drawn to scale, and with sufficient detail to adequately explain the entire design. Insufficient explanation of a design, including all visible details, is cause for rejection of an application. As a minimum requirement, the following drawings shall be submitted:

- 2.5.1 Additions: Site Plan -showing Addition location and distances to property lines.  
Floor plan(s) of Addition  
Elevations of Addition including existing house.
- 2.5.2 Accessory Structures: Site Plan - showing location of new structure and existing house, with distances between each and distances to property lines.  
Floor Plan(s)  
Elevations.
- 2.5.3 Other Site Improvements: Site Plan - Showing location of improvement, existing structures, and distances to property lines.  
Plan of Improvement (ex: deck, patio, swimming pool, etc.)
- 2.5.4 Fences: Site Plan - showing location and extent of fence.  
Elevation view of fence.
- 2.5.5 Drawing Quality: Site plans shall accurately describe the lot and may require, at the Board's discretion, a scale drawing. Examples of typical site plans, with required information or ARB review, follow this section for reference.
- 2.5.6 Submittals Not Returned: Only one copy of each drawing is required for submittal and is kept on file as a record of approved designs. Submittals will not be returned.

End of Section

# SAMPLE SITE PLAN



SMITH RESIDENCE  
LOT 7, HAMPTON PLACE  
14010 BRIDGETOWN CIRCLE

- 1) HOUSE MUST BE SHOWN ON THE SITE PLAN FOR REFERENCE.
- 2) FENCE AREA TO BE CLEARLY INDICATED. DIMENSIONS TO PROPERTY LINES MUST BE SHOWN.
- 3) SITE STRUCTURES OR OTHER IMPROVEMENTS MUST BE CLEARLY SHOWN. DIMENSIONS TO PROPERTY LINES SHALL BE NOTED.
- 4) PLANS AND ELEVATIONS DESCRIBING FENCES, SITE STRUCTURES, OR OTHER IMPROVEMENTS MUST ACCOMPANY THE SITE PLAN.

## Stoney Glen West Community Standards

### Section 7

#### FENCES

##### 7.1 General

7.1.1 Any structure or planting designed to define or enclose land area, or to screen view to an area of land, shall be defined as a fence for purposes of review and approval. This may include, but is not limited to, rail fences, picket fences, board fences, lattice, trellises, and solid walls not enclosing a structure. Construction of any fence must be approved by the Architectural Review Board (ARB).

7.1.2 The following guidelines apply to fences. There are specific requirements that are in support of the Covenants or Primary Guidelines. The ARB has the authority to waive requirements where it deems appropriate.

##### 7.2 Specifications

7.2.1 The following fences are permitted to define property lines: split rail, board rail, and picket. Siting restrictions are defined later in this section. Construction of fences shall be as specified below. Sample illustrations follow this section.

###### 7.2.2 Split Rail

Maximum height of a split rail fence is 4.0' as measured to the top of the highest rail. Posts may extend 4" to 6" above the rail and shall be placed no more than 8.0' apart. The minimum number of rails is 2 and the maximum number of rails is 3. The bottom rail of a 2 rail fence is to be a maximum of 14" above the ground. The bottom rail of a 3 rail fence is to be a maximum of 10" above the ground.

###### 7.2.3 Board Rail

Maximum height of a board rail fence is 4.0' as measured to the top of the highest rail. Posts may extend 2" to 4" above the rail and shall be spaced no more than 8.0' apart. Posts shall be 4 X 4 with a 1 X 4 vertical face over rails. The only number of rails allowed is 3. The bottom rail of a 3 rail fence is to be a maximum of 10" above the ground.

###### 7.2.3 Picket

Maximum height of a picket fence is 4.0' as measured to the top of the pickets. Posts shall extend 4" to 6" above the pickets and shall be spaced no more than 8.0' apart. Posts shall be a decorative style. Pickets shall face to the outside of the fence.

###### 7.2.6 Solid Board

Solid board fences are permitted in limited areas for privacy. They may be used to define property lines in certain situations. The maximum height of a solid board fence is 5.0'. Taller fences shall be considered on a case by case basis. Vertical boards shall be 1 X 6 and shall face to the outside of the fence. Board tops shall have angled corners, pointed tops, or shall be sculptured. Square cut boards are not permitted. Posts shall be spaced no more than 8.0" and shall be no larger than 6 X 6. Decorative posts may extend up to 6" above the fence.

- 7.2.7 Fences shall be constructed of treated wood or redwood, and shall generally be unfinished. Vinyl fences, as well as stained or painted fences will be considered on a case by case basis.
- 7.2.8 The following fences are not permitted: chain link, barbed wire, electrified wire, post and woven wire, or pre-manufactured half round stockade fences.
- 7.2.9 Other types of fences including lattice, trellises, or masonry walls will be considered on a case by case basis.

### **7.3 Siting Guidelines**

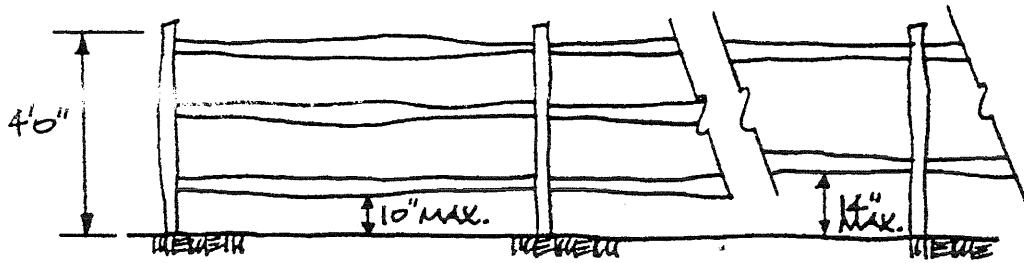
- 7.3.1 No continuous fence may be constructed in any area of the yard in front of the front plane of the house or the front corners of the house. Exceptions may be granted for discontinuous sections of decorative fence or posts incorporated as part of an overall landscape plan.
- 7.3.2 Fences intended to define property lines shall be constructed within 6" of the property line but not on it. The applicant is responsible for determining the location of the property lines.
- 7.3.3 Fences that are not intended to define property lines shall NOT be constructed closer than 6.0' to any property line, in order to provide room for adequate maintenance of the property outside of the fence.
- 7.3.4 In cases where an adjacent lot already has a fence up to their property line, the applicant will be asked to bring his fence up to that fence if the styles are compatible. If parallel fences are necessary, the adjoining section of fence shall be held back a minimum of 6.0'. Screening shrubbery shall be placed between the sections of fence to soften the appearance from the road.
- 7.3.5 On corner lots and lots adjacent to roadways, a fence placed parallel to the street side property line shall be held back a minimum of 6.0'. Fences in these locations shall be a solid board style with the top of each fence section shaped into a concave scallop. Variances from this style may be reviewed at the discretion of the ARB (revised 3-22-01). Screening shrubbery is recommended to be placed on the outside of the fence to soften the appearance from the road (revised 12-18-05).
- 7.3.6 Solid board fences shall not be placed in front of the back corners of the house.
- 7.3.7 In cases where fencing is desired to screen a lot from off-site property (areas contiguous to Stoney Glen West) other than roadways, the fence may be located within 6" of the property line. Applications will be considered on a case by case basis.
- 7.3.8 Screening shrubbery may be required on the outside of solid board fences where they are highly visible from neighboring properties.

7.3.9 Where screening shrubbery is determined to be necessary by the ARB, the minimum requirement shall be one row of 2.5' high evergreen shrubs (any variety) planted on maximum centers (base to base) of 3.0'. Alternative planting plans using varied spacing and arrangement, or several plant varieties will be considered by the ARB. Screening plans shall be submitted with fence plans for approval.

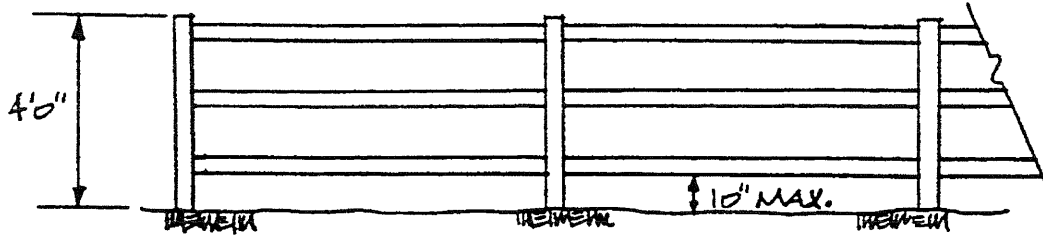
#### **7.4 Environmental Considerations**

7.4.1 Clearing is permitted only as necessary to establish a line for construction of the fence. Fences should be located to avoid mature trees.

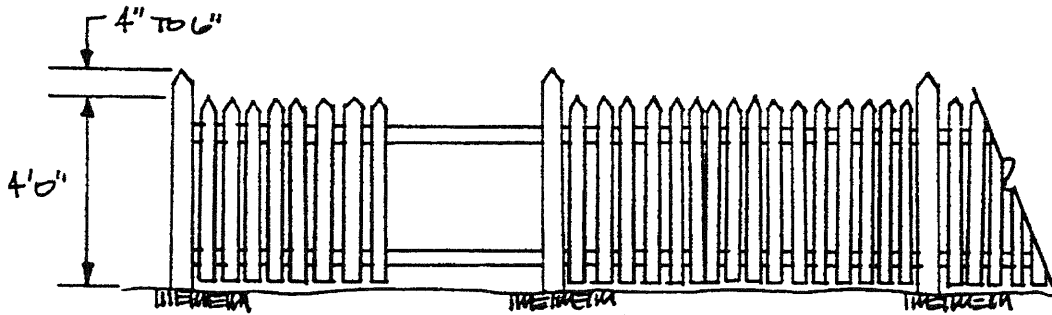
**End of Section**



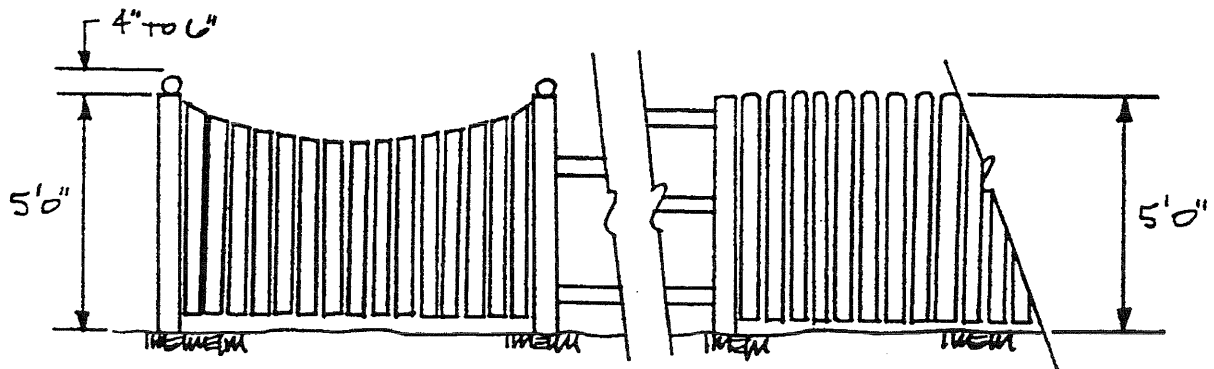
SPLIT RAIL FENCE



BOARD RAIL FENCE



PICKET FENCE



SOLID BOARD FENCE



in order to implement the purposes of these Covenants, the Developer may establish and amend from time to time objective standards and guidelines, including, but not limited to, Building Guidelines, Uniform Sign Regulations, Uniform Mailbox Regulations, and Landscape Guidelines as such terms are defined hereinafter, which shall be in addition to and more restrictive than these Covenants, and which shall be binding on all Property Owners within Stoney Glen West.

1.1. Building Approvals. No building, fence, or other structure shall be erected, placed, or altered, nor shall a building permit for such improvement be applied for on any Property in Stoney Glen West until the proposed building plans, specifications, exterior color or finish, plot plan (showing the proposed location of such building or structure, drives, and parking areas), and construction schedule shall have been approved by the Developer. In addition, the Developer may, at its election, require prior written approval of a landscape plan. The Developer further reserves the right to promulgate and amend from time to time architectural standards and construction specifications (hereinafter referred to as the "Building Guidelines") for specific neighborhoods and areas or for all Properties within Stoney Glen West, and such Building Guidelines shall establish, define, and expressly limit those standards and specifications which will be approved in said neighborhoods and areas or within the Properties, including, but not limited to, architectural style, exterior color or finish, roofing material, siding material, driveway material, fencing material, landscape design, and construction technique. No alteration in the exterior appearance of any building, fence or structure, including exterior color or finish, shall be made without like prior approval by the Developer. One (1) copy of all plans and related data shall be furnished to the Developer for its records. In the event approval of such plans is neither granted nor denied within thirty (30) days following receipt by the Developer of written demand for approval, the provisions of this paragraph shall be thereby waived.

(b) In order to assure that buildings, fences and other structures will be located and staggered so that the maximum view, privacy, sunlight, and breeze will be available to each building or structure within the confines of each Property, and to assure that structures will be located with regard to the topography of each Property, taking into consideration the location of large trees and other aesthetic and environmental considerations, the Developer reserves the right to approve the precise site and location of any building, fence or structure on any Property in Stoney Glen West. Such location shall be