

Stoney Glen West
Community Standards

Deck or
Additions and Exterior Modifications Application
with additional information

Stoney Glen West Community Association
Architectural Review Board

PROPERTY IMPROVEMENT APPLICATION

Date: _____

Name: _____

Address: _____

Telephone: _____

Section: _____ Lot: _____

Type of Improvement (check appropriate blank):

Fence Accessory Building Addition Site Structure Other

The applicant shall be the property owner at the time of application.

The following items must accompany this application when submitted to the Architectural Review Board (ARB):

1. Site plan indicating the location of the house, driveway, other existing structures, and the location of the proposed improvements with distances to property lines.
2. Plans and elevations that fully describe the proposed improvements.

Architectural review is only for compliance with Stoney Glen West covenants and community standards. Approval does not relieve the applicant of responsibility for obtaining all other necessary permits and compliance with applicable zoning ordinances and building codes.

Applicant's Signature: _____

ARB USE ONLY

Date Application Received: _____

Action Taken:

Approved: _____ Date: _____

Conditional Approval: _____ Date: _____

Denied: _____ Date: _____

ARB Chairperson's Signature: _____

2.5 Preparation of Submittals

Submittals prepared for consideration by the ARB shall be complete and accurate. Submittals for design review must include drawings prepared as described below. Submittals for color review must include color chips. In every case all requested information on the application form shall be furnished. The ARB may return applications that are incomplete.

For consideration by the ARB, drawings must be neat, accurate, drawn to scale, and with sufficient detail to adequately explain the entire design. Insufficient explanation of a design, including all visible details, is cause for rejection of an application. As a minimum requirement, the following drawings shall be submitted.

2.5.1 Additions

Site Plan – showing Addition location and distances to property lines.
Floor plan(s) of Addition
Elevation of Addition including existing house. .

2.5.2 Accessory Structure

Site Plan – showing location of new structure and existing house, with distances between each and distances to property lines
Floor Plan(s)
Elevations. .

2.5.3 Other Site Improvements

Site Plan – showing location of improvement, existing structures, and distances to property lines.
Plan of Improvement (ex: deck, patio, swimming pool, etc.)

2.5.4 Fences

Site Plan – showing locations and extent of fence.
Elevation view of fence.

2.5.5 Drawing Quality

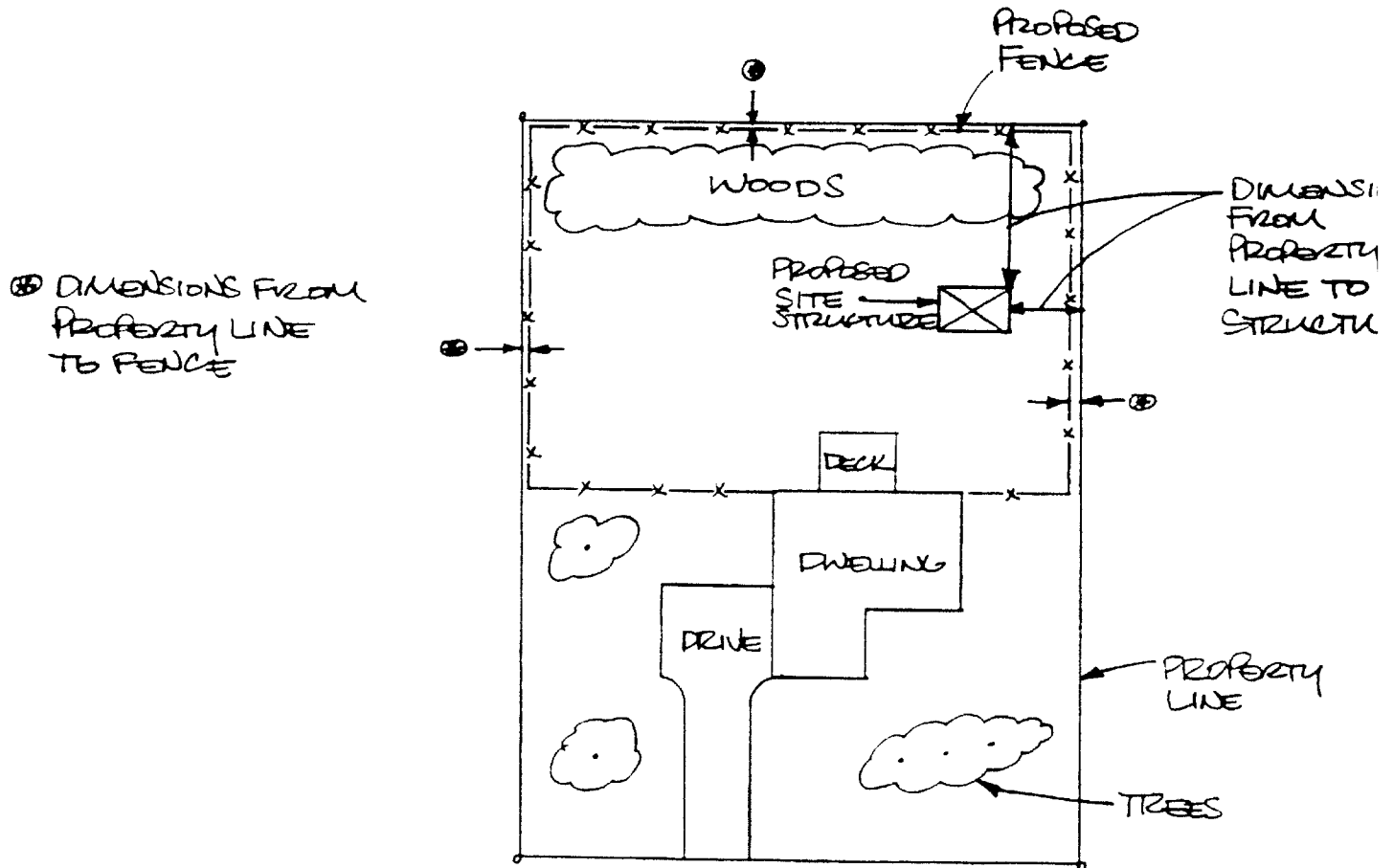
Site plans shall accurately describe the lot and may require, at the Board's discretion, a scale drawing. Examples of typical site plans, with required information or ARB review, follow this section for reference.

2.5.6 Submittals Not Returned

Only one copy of each drawing is required for submittal and is kept on file as a record of approved designs. Submittals will not be returned.

End of Section

SAMPLE SITE PLAN



SMITH RESIDENCE
 LOT 7, HAMPSTEAD PLACE
 14010 BRIDGETOWN CIRCLE

- 1) HOUSE MUST BE SHOWN ON THE SITE PLAN FOR REFERENCE.
- 2) FENCE AREA TO BE CLEARLY INDICATED. DIMENSIONS TO PROPERTY LINES MUST BE SHOWN.
- 3) SITE STRUCTURE OR OTHER IMPROVEMENTS MUST BE CLEARLY SHOWN. DIMENSIONS TO PROPERTY LINES SHALL BE NOTED.
- 4) PLANS AND ELEVATIONS DESCRIBING FENCES, SITE STRUCTURES, OR OTHER IMPROVEMENTS MUST ACCOMPANY THE SITE PLAN.

Stoney Glen West Community Standards

Section 4

ADDITIONS AND EXTERIOR MODIFICATIONS

4.1 General

All additions and exterior modifications to homes must be approved by the Architectural Review Board (ARB). This includes any new construction, demolition, or changes to existing finishes (repainting). This does not include routine maintenance work or repainting with the same colors.

The following guidelines apply to additions and modifications to existing houses. They are specific requirements that are in support of the Primary Guidelines defined in Section 3. The ARB has the authority to waive requirements where it deems appropriate.

4.2 Form and Context

- 4.2.1 No proposed addition or modification shall change the permitted use of the property from single family detached residential.
- 4.2.2 Additions shall not increase the lot coverage or the height of structures beyond those limits established by County zoning. Approval of large additions will be judged by appearance of size in relation to the house and by siting considerations contained in the following paragraphs.
- 4.2.3 The architectural style of any addition or modification shall match that of the house. The massing of the addition shall be similar in size and use of shapes as that of the house, in proportion to other elements of the house so as not to overpower the existing design. Roof styles and slopes shall be similar and complementary to the existing house.
- 4.2.4 Openings shall be required in additions, including windows and doors, in a similar fashion and extent as that of the original house. Windows and doors in additions shall be of materials matching those of the house. In general, windows and doors should match the style of those in the existing house. Exceptions may be granted at the discretion of the ARB for sun-rooms or other specially glazed areas.
- 4.2.5 Storm doors do not need to be submitted for approval. The style of the storm door must match the style of the house. Full view or divided view storm doors are acceptable.
- 4.2.6 Architectural elements such as corner and rake boards, soffits, eaves, window and door trim, and shutters shall match the style of the same elements on the house.
- 4.2.7 Any change of exterior colors must be approved by the ARB prior to painting or applying pre-finished materials.

- 4.2.8 Color selections are not limited but should create a soft general appearance. Colors should generally be muted in hue, especially for large areas such as siding. Colors selected must be harmonious with each other and with other finishes, such as masonry foundations and roof colors.
- 4.2.9 The same siding color may not be used on adjacent houses or on houses directly across from each other. The ARB may also reject a proposed siding color if it determines that the color has been used on too many houses in the same neighborhood.
- 4.2.10 Decks constructed at or below the first floor level of the house may be constructed entirely of unfinished treated lumber. Decks or balconies constructed above the first floor level shall be finished to match the house.
- 4.2.11 Covered decks, open porches, stoops, and screened porches shall all be constructed from the first floor level up. Materials shall match the house. Substructure and decking may be of unfinished treated wood.
- 4.2.12 Greenhouse window additions shall be constructed of finished wood framing or of a pre-finished metal consistent with the exterior color scheme of the house.
- 4.2.13 Awnings and other sun screen devices shall be consistent with the architectural character of the house.

4.3 Siting Guidelines

- 4.3.1 No addition shall extend beyond the minimum set back requirements established for the house, as stated in Section 6.3 or by current zoning regulations.
- 4.3.2 The siting of additions shall not create a breach of privacy between neighboring houses. Where this may be unavoidable, the ARB will require screening of the view by the Applicant. New windows, doors, or routes of access created by the addition or modification shall not create a breach of privacy between neighboring houses. The ARB reserves the right to reject certain openings or require screening where, in the opinion of the ARB, these actions are required to maintain privacy between neighbors.

4.4 Environmental Considerations

- 4.4.1 Clearing for construction of additions shall extend no farther than 15' outside of the addition's footprint. Beyond the clearing limits described above for structure and access, clearing of existing vegetation for additional landscape and view shall not materially alter the natural characteristics of Stoney Glen West.
- 4.4.2 Alteration of existing topography will generally be permitted as required to create positive drainage away from the house. In no case shall drainage be modified to infringe on adjacent properties. Other requests to alter the topography of a lot will be reviewed by the ARB on a case by case basis.

End of Section

in order to implement the purposes of these Covenants, the Developer may establish and amend from time to time objective standards and guidelines, including, but not limited to, Building Guidelines, Uniform Sign Regulations, Uniform Mailbox Regulations, and Landscape Guidelines as such terms are defined hereinafter, which shall be in addition to and more restrictive than these Covenants, and which shall be binding on all Property Owners within Stoney Glen West.

1.1. Building Approvals. No building, fence, or other structure shall be erected, placed, or altered, nor shall a building permit for such improvement be applied for on any Property in Stoney Glen West until the proposed building plans, specifications, exterior color or finish, plot plan (showing the proposed location of such building or structure, drives, and parking areas), and construction schedule shall have been approved by the Developer. In addition, the Developer may, at its election, require prior written approval of a landscape plan. The Developer further reserves the right to promulgate and amend from time to time architectural standards and construction specifications (hereinafter referred to as the "Building Guidelines") for specific neighborhoods and areas or for all Properties within Stoney Glen West, and such Building Guidelines shall establish, define, and expressly limit those standards and specifications which will be approved in said neighborhoods and areas or within the Properties, including, but not limited to, architectural style, exterior color or finish, roofing material, siding material, driveway material, fencing material, landscape design, and construction technique. No alteration in the exterior appearance of any building, fence or structure, including exterior color or finish, shall be made without like prior approval by the Developer. One (1) copy of all plans and related data shall be furnished to the Developer for its records. In the event approval of such plans is neither granted nor denied within thirty (30) days following receipt by the Developer of written demand for approval, the provisions of this paragraph shall be thereby waived.

(b) In order to assure that buildings, fences and other structures will be located and staggered so that the maximum view, privacy, sunlight, and breeze will be available to each building or structure within the confines of each Property, and to assure that structures will be located with regard to the topography of each Property, taking into consideration the location of large trees and other aesthetic and environmental considerations, the Developer reserves the right to approve the precise site and location of any building, fence or structure on any Property in Stoney Glen West. Such location shall be